

CITY OF
FREMONT
NEBRASKA PATHFINDERS



COPY

400 East Military Avenue, Fremont, NE 68025-5141

May 24, 2019

RE: Conditional Use Permit

Applied to on 6-5-2019
Date

Dear Property Owner:

You are hereby advised that the City of Fremont has received the following application(s):

A request by Brian Zubert on behalf of Eastowne Development, Fremont Health and Signa Properties, for a Conditional Use Permit for a Residential Cluster for a 216 unit apartment complex of age 55+ workforce housing generally described as Lots 1 & 2 Fountain Springs 2nd Subdivision, Lot 2 Fountain Springs 3rd Subdivision and Lots 1 & 2 Fountain Springs 4th Subdivision located in the SE ¼ Section 11, Township 17 Range 8 East, and more generally located at the northwest corner of 29th Street and Yager, lying south of 32nd Street, to be known as the Fountain Spring Adult Apartment Properties.

A public hearing on this application will be held before the City of Fremont City Council on the 11th day of June, 2019. The public hearing is your opportunity to appear and speak on the merits of this application, if you so choose. The City Council study session begins at 6:45 PM followed by the formal meeting at 7:00 PM in the Fremont City Council Chambers located on the second floor in the Fremont Municipal Building at 400 East Military Avenue, Fremont, Nebraska.

If you would like more information, you are encouraged to contact the applicant Robert Fields at 402-960-2363 or anewdevelopment@outlook.com, or the Planning Director, Jennifer Dam at 402-727-2636 or jennifer.dam@fremontne.gov.

The Planning Department staff report and recommendation will be available at the City Clerk's office on Friday, June 7th after 4:30 PM. The City Council Agenda and staff reports will also be available on the City's website at that time, www.fremontne.gov.

Sincerely,

Tyler Ficken,
City Clerk

Attachment: drawings

Cc: Brian Zubert
Anew Development
Eastowne Development
Fremont Health
Signa Properties
Fremont School Board
County Board
Lower Platte North NRD

2019 MAY 22 PM 1:54
RECEIVED
Dodge Co Highway Dept

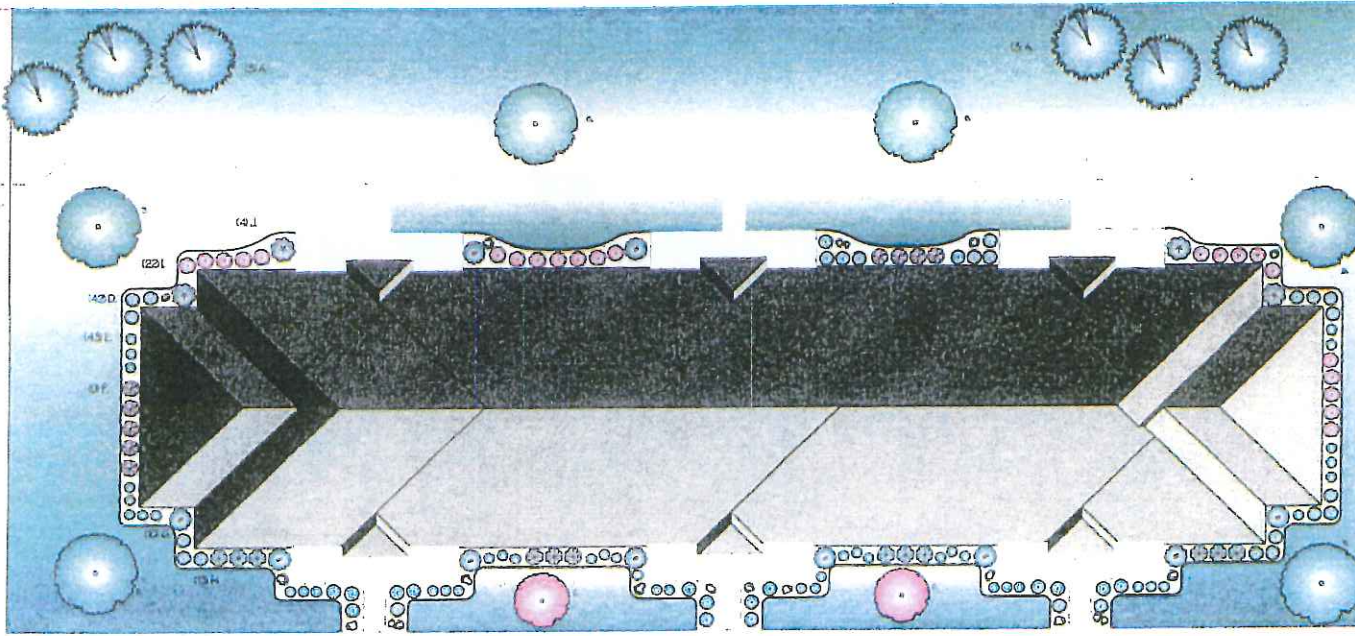



K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 4700 W. MAIN ST. SUITE 200
 SPOKANE, WA 83402
 509-483-0000
 WWW.KASHOOKDESIGN.COM



CONCEPTUAL DESIGN B
55 & OVER WORKFORCE
HOUSING PROJECT
 ANBY DEVELOPMENT LLC

DATE:	03-04-19
JOB NO.:	AXXX
DRAWN:	DOP
CHECKED:	KAS
TITLE:	
CONCEPTUAL EXTERIOR RENDERINGS	
SHEET NO.	
D2.1	



- A. Evergreen Tree
- B. Deciduous Shade Tree
- C. Ornamental Tree
- D. Evergreen Shrub
- E. Ornamental Grass
- F. Deciduous Shrub 1
- G. Deciduous Shrub 2
- H. Deciduous Shrub 3
- I. Deciduous Shrub 4
- J. Evergreen Shrub 2

Revision #:

Date: 4/11/2019

Scale:

1" = 10'

Landscape Plan:

Typical Planting Plan

Landscape Design by: Scott Licht

Siffring Landscaping



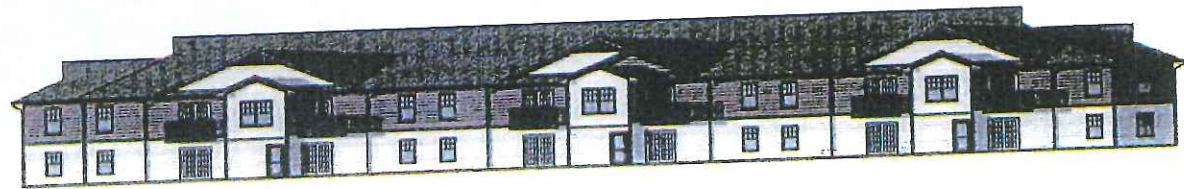
FRONT ELEVATION
E1
200



RIGHT SIDE ELEVATION
E2
200



LEFT SIDE ELEVATION
E3
200



REAR ELEVATION
E4
200

K. A. SHOOK DESIGN, LLC
 ARCHITECTS AND DESIGNERS
 100 SOUTH WALK STREET
 FARMINGTON, UT 84201
 (435) 752-1100
 DESIGN SERVICES
 OF ARCHITECTURE & INTERIORS

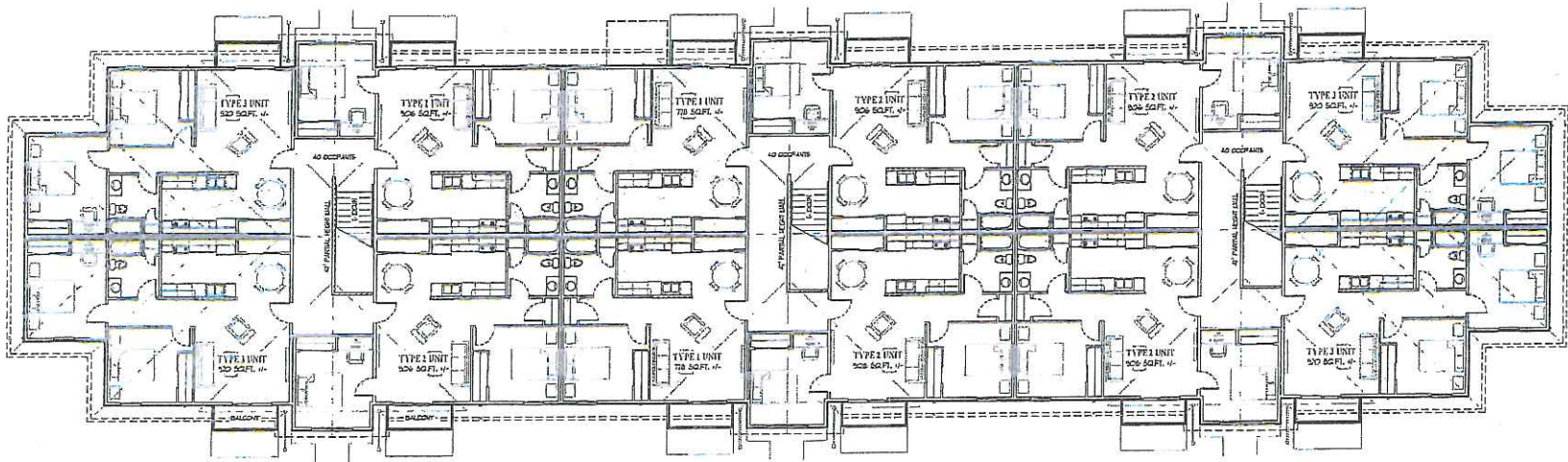


CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ANEW DEVELOPMENT LLC

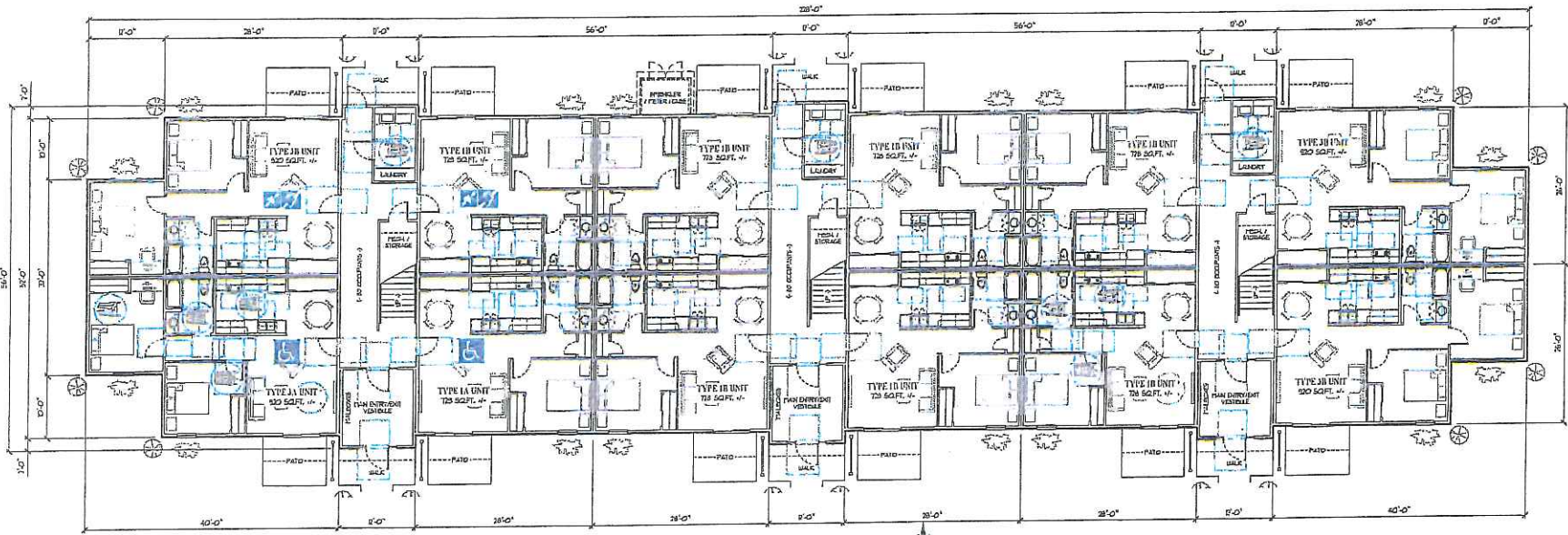
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JOB NO.:	19-001
DRAWN:	DDP
CHECKED:	RAS

TITLE:
 CONCEPTUAL EXTERIOR RENDERINGS

SHEET NO.
D2.0



FLOOR PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"



FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"

K. A. SHOOK DESIGN, LLC
ARCHITECTURE AND DESIGN
1700 ANDY LANE SUITE 100
MAYFIELD, MO 63045
636-536-1100
WWW.KASHOOKDESIGN.COM
© 2014 K. A. SHOOK DESIGN, LLC

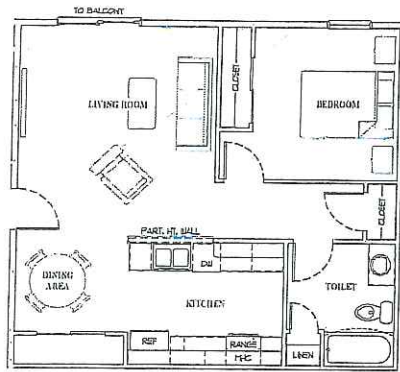


CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
NEW/DEVELOPMENT LLC

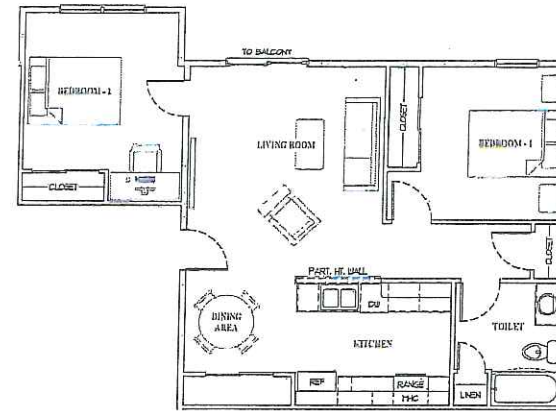
DATE:	03-04-19
JOB NO:	XXXX
DRAWN:	ODP
CHECKED:	KAS

TITLE:
CONCEPTUAL OVERALL FLOOR PLANS

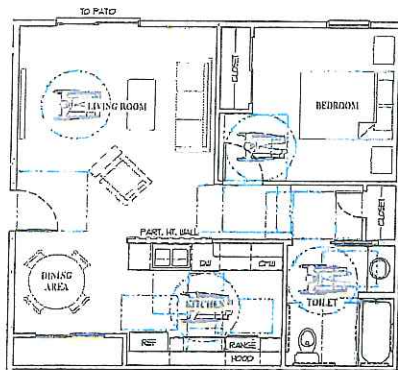
SHEET NO:
D1.0



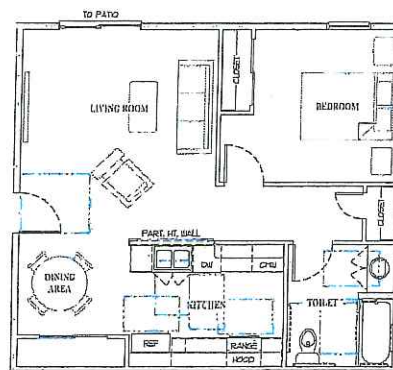
3. 011 ENLARGED UNIT PLAN - TYPE I UNIT
SCALE: 1/2" = 1'-0"



3. 012 ENLARGED UNIT PLAN - TYPE 2 UNIT
SCALE: 1/2" = 1'-0"



4. 001 ENLARGED UNIT PLAN - TYPE 1A
(TYPE "A" DWELLING UNIT)
SCALE: 1/2" = 1'-0"



5. 001 ENLARGED UNIT PLAN - TYPE 1B
(TYPE "B" DWELLING UNIT)
SCALE: 1/2" = 1'-0"


K. A. SMOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1700 SOUTH WEST STREET
 HOUSTON, TX 77058
 281-413-8888
 WE SERVE THE COMMUNITY
 OF HOUSTON / DALLAS / FT. WORTH



GENERAL NOTES

THESE DRAWINGS AND/OR DESIGN ARE NOT INTENDED FOR BIDDING OR CONSTRUCTION AND ARE FOR REFERENCE ONLY.

DESIGN CRITERIA - D

CLASSIFICATION: R1 - RESIDENTIAL

CONSTRUCTION TYPE: V3 - UNPROTECTED SPRINKLERED

ALLOWABLE AREA: 1000 SQ. FT.
FRONTAGE: 53.0 SQ. FT.
25.0 SQ. FT.

ACTUAL BUILDING AREA:
TEAM LEVEL: 1820 SQ. FT.
UPPER LEVEL: 1664 SQ. FT.
TOTAL: 3484 SQ. FT.

ALLOWABLE HEIGHT: 60' / 3 STORES

ACTUAL HEIGHT: 30' / 2 STORES

OCCUPANCY:
OCC. PER UNIT: 10
OF UNITS: 24
TOTAL OCCUPANTS: 240

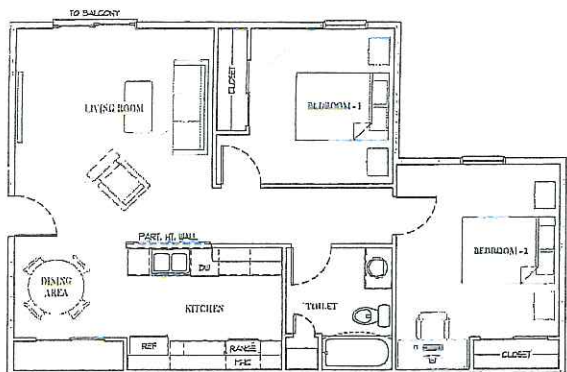
TYPE 1 UNITS: 2
TYPE 2 UNITS: 1
TYPE 3 UNITS: 1
TYPE 4 UNITS: 6
TYPE 5 UNITS: 4
TYPE 6 UNITS: 1
TYPE 7 UNITS: 3

CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ANEW DEVELOPMENT, LLC

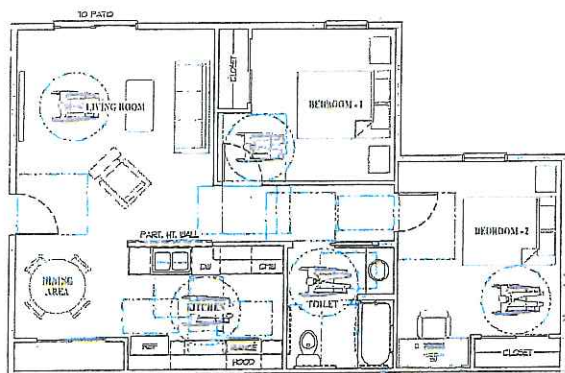
DATE: 03-04-19
JOB NO.: 537X
DRAWN: ODP
CHECKED: KAS

TITLE:
CONCEPTUAL ENLARGED FLOOR PLANS

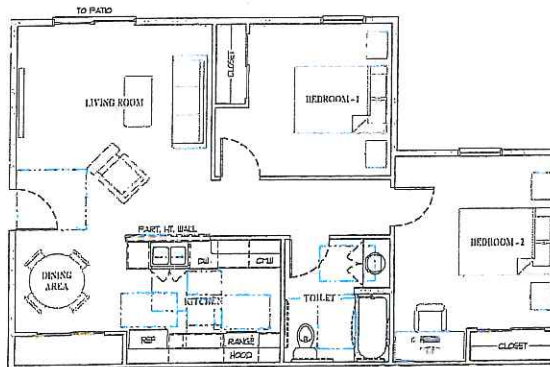
SHEET NO:
D1.1



7
ENLARGED UNIT PLAN - TYPE J
SCALE: 1/4" = 1'-0"



8
ENLARGED UNIT PLAN - TYPE 3A
(TYPE "A" DWELLING UNIT)
SCALE: 1/4" = 1'-0"



9
ENLARGED UNIT PLAN - TYPE 3B
(TYPE "B" DWELLING UNIT)
SCALE: 1/4" = 1'-0"

K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1725 SOUTH LINDS STREET
 BIRMINGHAM, AL 35202
 205-441-1986
 BUSINESS DEVELOPMENT
 OR ARCHITECTURE CONSULTING

TYPICAL SET

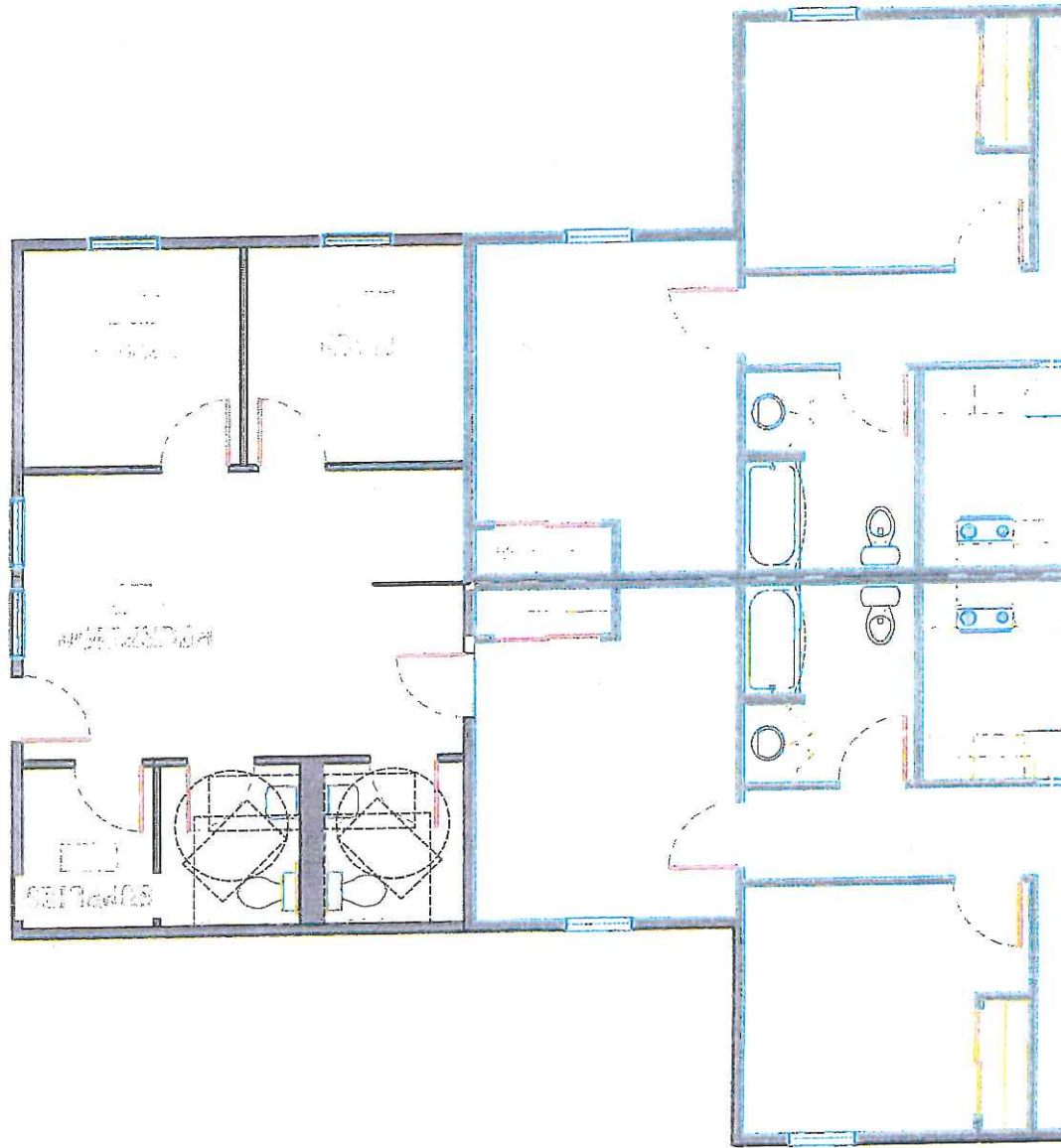


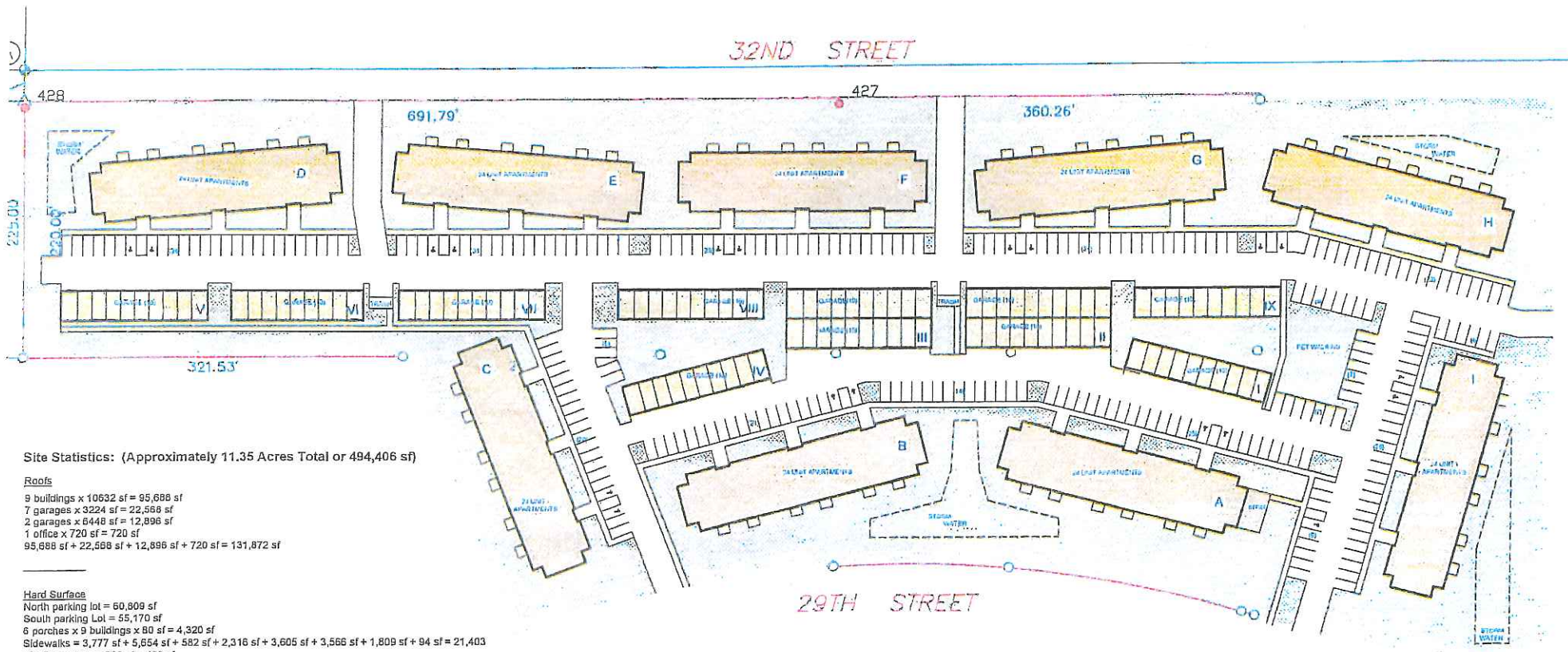
CONCEPTUAL DESIGN B
55 & OVER WORKFORCE HOUSING PROJECT
 ARIEN DEVELOPMENT, LLC

DATE:	03-04-19
JOB NO.:	2000
DRAWN:	COM
CHECKED:	KAS
TITLE:	

CONCEPTUAL ENLARGED FLOOR PLANS

SHEET NO.
D1.2






Site Statistics: (Approximately 11.35 Acres Total or 494,406 sf)

Roofs
 9 buildings x 10632 sf = 95,688 sf
 7 garages x 3224 sf = 22,568 sf
 2 garages x 6448 sf = 12,896 sf
 1 office x 720 sf = 720 sf
 95,688 sf + 22,568 sf + 12,896 sf + 720 sf = 131,872 sf

Hard Surface
 North parking lot = 60,809 sf
 South parking Lot = 55,170 sf
 6 porches x 9 buildings x 80 sf = 4,320 sf
 Sidewalks = 3,777 sf + 5,654 sf + 582 sf + 2,316 sf + 3,605 sf + 3,566 sf + 1,809 sf + 94 sf = 21,403 sf
 2 Dumpsters x 200 sf = 400 sf
 60,809 sf + 55,170 sf + 4,320 sf + 21,403 sf + 400 sf = 142,102 sf

Grass, Drainage & Pervious Surface
 92,228 sf property size - 131,872 sf (roof) - 142,102 sf (hard surface) = 218,254 sf (44% Pervious)

Parking Facility
 110 Garage Stalls of which 22 are HC
 285 Surface Stalls of which 19 are HC


SITE - SCHEME E
 1" = 80'-0"

Fountain Springs Apartments

Fifty & Over Workforce Housing

870 East 29th Street
Fremont, Dodge County, Nebraska

April 8th, 2019 - Issued for Preliminary Pricing & Review

OWNER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

ARCHITECT
K.A. SHOOK DESIGN, LLC
1727 South Lewis Street
Eastville, Missouri 65031
656-664-0008 phone
kaashook@earthlink.net
E-mail: kaashook@earthlink.net

CIVIL ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

STRUCTURAL ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER
"NAME / ORGANIZATION"
"Address"
"City, State, Zip"
"Phone"
"Name"
"email address"

K. A. SHOOK DESIGN, LLC
ARCHITECTURE AND DESIGN
1727 SOUTH LEWIS STREET
EASTVILLE, MO 65031
656-664-0008
kaashook@earthlink.net

GENERAL CODE REVIEW

USE GROUP & CLASSIFICATION

BUILDING DESCRIPTION: APARTMENT BUILDING (R) UNITS
SIC USE GROUP: R3

HEIGHT & AREA LIMITATIONS

BUILDING DESCRIPTION: 7 STORY - 1664 SQ.FT. LEACH FLOOR
73 - 100 SQ.FT. (PER UNIT)
7 STORY - 1 STORY (USE SPRINKLER) - 3 STORY
1000 SQ.FT. (R) - 1400 SQ.FT. (FRONTAGE)
7000 - 4670 - 1010 SQ.FT. 1 1664 SQ.FT. OK

TYPE OF CONSTRUCTION

BUILDING DESCRIPTION: STICK FRAME W/ WOOD TRUSSES
SIC CONSTRUCTION TYPE: 5B

SPRINKLER SYSTEM

BIC 501: R - REQUIRED BY IBC 903.2.2
INSTALL NFPA 10C PER IBC 903.2.10

WATER SUPPLY

BIC 501: R3 - 24 UNITS - 11 UNITS - NO
ALL UNITS (3 STORES ABOVE EXIT DISCHARGE STORY - OK
ALL UNITS ABOVE LEVEL OF EXIT DISCHARGE - OK
REQUIRED OR FROM OCCUPANT NOTIFICATION UPON
SPRINKLER WATER PLAN PER IBC 903.2.11 DESCRIPTION 2

GLASS

BIC 1005.1: 44" EXCEPTION 11 3/4" F.O.L. (50
11 1/2" x 36" ALLOWED
BIC 1005.2: HEAD ROOM - 80"

EGRESS

BIC 1020.1: 3) 10 FOR "R" USE REQUIRE 1 HOUR RATING
34 (10 - REQUIRED
ONE EXIT R3
BIC 1020.1.1: 3RD FLOOR - 4 UNITS AND 05A TRAVEL DISTANCE
4 - 4 OK AND 05A TRAVEL DISTANCE
BIC 1021: 2000 MAX TRAVEL DISTANCE
05A (1000 OK

ELEVATOR ENCLOSURES

BIC 2001.1: 05C - 1 PER UNIT
LAV - 1 PER UNIT
BATH - 1 PER UNIT
KITCHEN - 1 PER UNIT

LIFE SAFETY & EGRESS NOTES

CONSTRUCTION TYPE: TYPE V3B
OCCUPANCY: R3 RESIDENTIAL
A HALF-HOUR SEPARATION FOR WALL & FLOOR/CILING ASSEMBLIES IS REQUIRED AND PROVIDED TO SEPARATE DOLLING UNITS

MAXIMUM FLOOR ALLOWANCES PER OCCUPANT:
R3 RESIDENTIAL - 200 SQ.FT. (6000) PER OCCUPANT
TOTAL ALLOWABLE NUMBER OF OCCUPANTS: 30 OCCUPANTS PER UNIT (SINGLE TENS OF BARS) 310 OCCUPANTS PER STORY 450 OCCUPANTS TOTAL
TOTAL OCCUPANTS - 11 UNITS - 30 OCC. - 1

EXIT ACCESS TRAVEL DISTANCE:
R - SPRINKLERED: 05 FEET FOR STORES WITH ONE EXIT ACCESS

TOTAL EGRESS WIDTH REQUIRED: 480 x 02' x 56'
TOTAL EGRESS WIDTH PROVIDED: 161 31' x 83'

EGRESS DOORS SHALL HAVE A MINIMUM CLEAR WIDTH OF NOT LESS THAN 31"
MINIMUM NUMBER OF EXITS REQUIRED: 2 PER UNIT GROUP
EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT

SPRINKLER NOTES

- SPRINKLER EQUIPMENT IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND DETAILS
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT
- PROVIDE RESIDENTIAL SPRINKLER SYSTEM (R3) PER NFPA AND IBC. PROVIDE BUILDING DEPT. SHOP DRAWINGS SHOWING DESIGN INCLUDING LOCATIONS OF HEADS FOR THE ENTIRE BUILDING. GENERAL CONTRACTOR TO PROVIDE ALL ENGINEERED DRAWINGS. R REQUIRED BY BUILDING DEPT.
- ALL EQUIPMENT SHALL BE ILLUMINATED.

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH OF HIS SUBCONTRACTORS TO REVIEW THE DRAWINGS TO ASSURE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW ALL CONTRACT DOCUMENTS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK REQUIRED.

- CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING - NOTIFY "OWNER" ALL CONCERNED WITH THE WORK.
- DRAWINGS - THESE DRAWINGS SHALL NOT BE SCALED. REFER TO DIMENSIONS INDICATED. ACTUAL WORK OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCATING CONSTRUCTION. WHERE NO DIMENSION OR PERIOD OF DETERMINING A LOCATION IS GIVEN VERIFY CORRECT LOCATION WITH "OWNER" PRIOR TO INSTALLATION.
- DIMENSIONS - DIMENSIONS ON PLANS ARE FROM FACE OF CONCRETE, MASONRY, OR FRAMES UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED AS "TOLERANCE" SHALL BE A MINIMUM DIMENSION FROM FACE OF FINISH MATERIALS.
- COORDINATION - GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS OF ALL TRADES TO ALLOW FOR FULLY INCLUSION IN THE WORK SO AS NOT TO DELAY THE WORK OR THE WORK OF ANY SUBCONTRACTOR.
- EQUIPMENT - REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION. VERIFY ANY REQUIREMENTS FOR BOLTING OR CONNECTION PRIOR TO CONSTRUCTION TO ASSURE CORRECT INSTALLATION. PROVIDE ELECTRICAL, MECHANICAL, PLUMBING, ETC.
- CURBS, PIPE, CONDUIT, ETC. - ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, ETC. WHETHER EXPOSED OR NOT IN FINISHED ROOMS SHALL BE LOCATED WITHIN WALLS OR ABOVE FINISHED CEILING. ITEMS THAT CANNOT BE LOCATED WITHIN WALLS OR CEILING SHALL BE TYPED IN AND FINISHED TO MATCH ADJACENT SURFACES AND ANY REQUIRED WALL OR CEILING PARTITION. VERIFY ACCEPTABILITY WITH "OWNER" PRIOR TO INSTALLATION.
- FINISHES - LAVATORIES AND SINKS SHALL BE INSTALLED A MINIMUM OF 4" FROM FINISHED SIDE WALLS. FACETS SHALL BE INSTALLED WITH A MINIMUM OF 3" FROM THE OUTLET TO THE FLOOR FINISH OF FINISH. WALLS BEING THOSE EQUIPPED WITH VACUUM BENCHES. WATER CLOSETS SHALL BE INSTALLED A MINIMUM OF 6" FROM FINISHED SIDE WALLS TO CENTERLINE OF FINISHES.
- BLOCKING - BLOCKING CURBES THE BUILDING ENVELOPE OR SUBJECT TO MOST RESISTANT FINISHES.
- ACCESS DOORS - FINISH AND INSTALL ACCESS DOORS IN WALLS AND NON-ACCESSIBLE TYPE CEILING (HARD SERVICE OR EQUIPMENT) OR OTHER EQUIPMENT IS REQUIRED. WHERE WALL OR CEILING IS REQUIRED TO BE RATED, PROVIDE ACCESS DOORS OF THE RATED QUALITY TO THE ASSEMBLY IN WHICH THEY OCCUR.
- EXISTING CONDITIONS - THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON INFORMATION PROVIDED TO "OWNER". THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY "OWNER" OF CONDITIONS FROM THESE DRAWINGS PRIOR TO FABRICATION AND INSTALLATION OF THE WORK.
- PRECAUTIONS - IF IMPROPER CONDITIONS ARE DISCOVERED WHICH COULD RESULT IN DAMAGE TO THE STRUCTURE OR HARM TO THE OCCUPANTS, REPORT ANY SUCH CONDITION IMMEDIATELY TO "OWNER". TAKE PRECAUTIONS TO SAFELY SUPPORT THE STRUCTURE.
- HAZARDOUS MATERIALS - CONTRACTOR SHALL IMMEDIATELY REPORT THE DISCOVERY OF ANY HAZARDOUS MATERIALS TO "OWNER".
- FIELD USES - USE OF THE SITE FOR ANY CONSTRUCTION STAGING OR OTHER OPERATIONS SHALL BE COORDINATED WITH "OWNER". TAKE CARE NOT TO BLOCK OR OTHERWISE AFFECT ANY PUBLIC OR ADJACENT OWNERS AREAS.
- EXIT ACCESS - PLAN CAN BE RISE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PRESENT LOCATION IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.

SHEET INDEX

CVR1 - COVER SHEET / ARCHITECTURAL CODE REVIEW

A100 - [REDACTED]
A101 - LIFE SAFETY / EGRESS PLAN

A200 - OVERALL FLOOR PLANS
A201 - ENLARGED FLOOR PLANS / UNIT PLANS
A202 - ENLARGED FLOOR PLANS / UNIT PLANS
A203 - ENLARGED FLOOR PLANS / UNIT PLANS

A300 - ROOF PLAN

A400 - EXTERIOR ELEVATIONS
A401 - EXTERIOR ELEVATIONS

A500 - FOUNDATION PLAN
A501 - FLOOR FRAMING PLAN
A502 - ROOF FRAMING PLAN

A600 - BUILDING & WALL SECTIONS
A601 - BUILDING & WALL SECTIONS
A602 - BUILDING & WALL SECTIONS

1700 - [REDACTED]

1701 - [REDACTED]

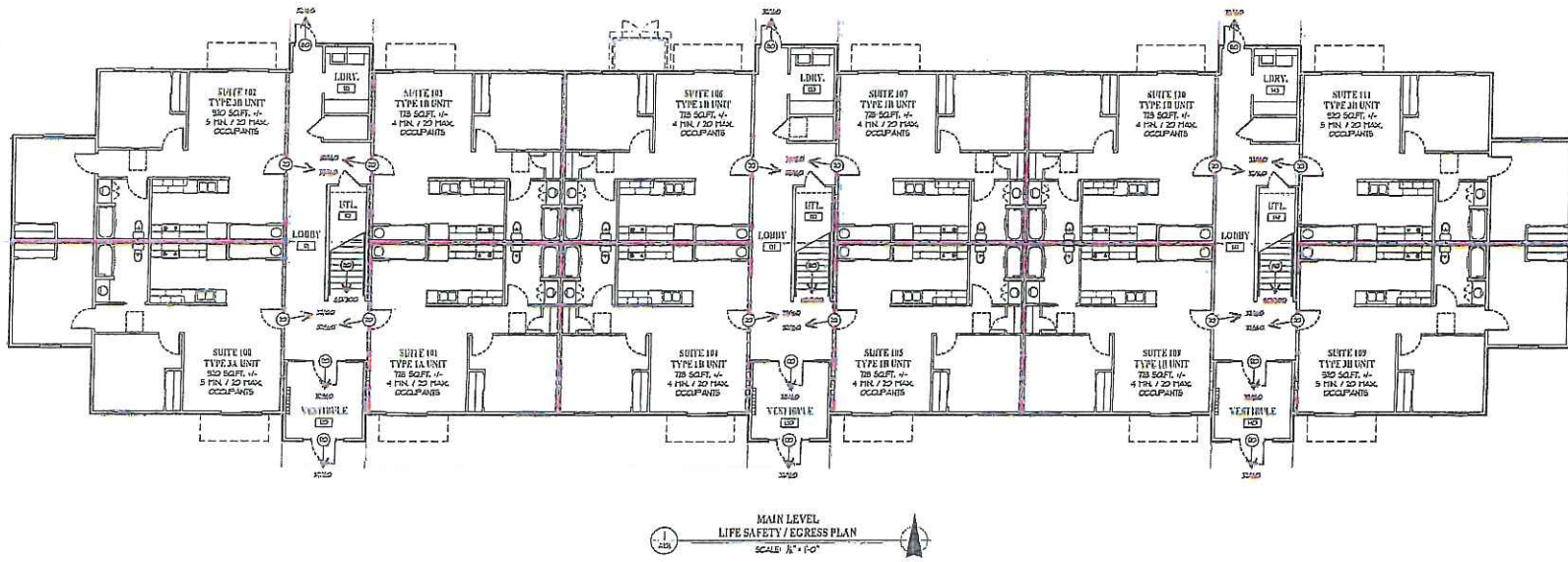
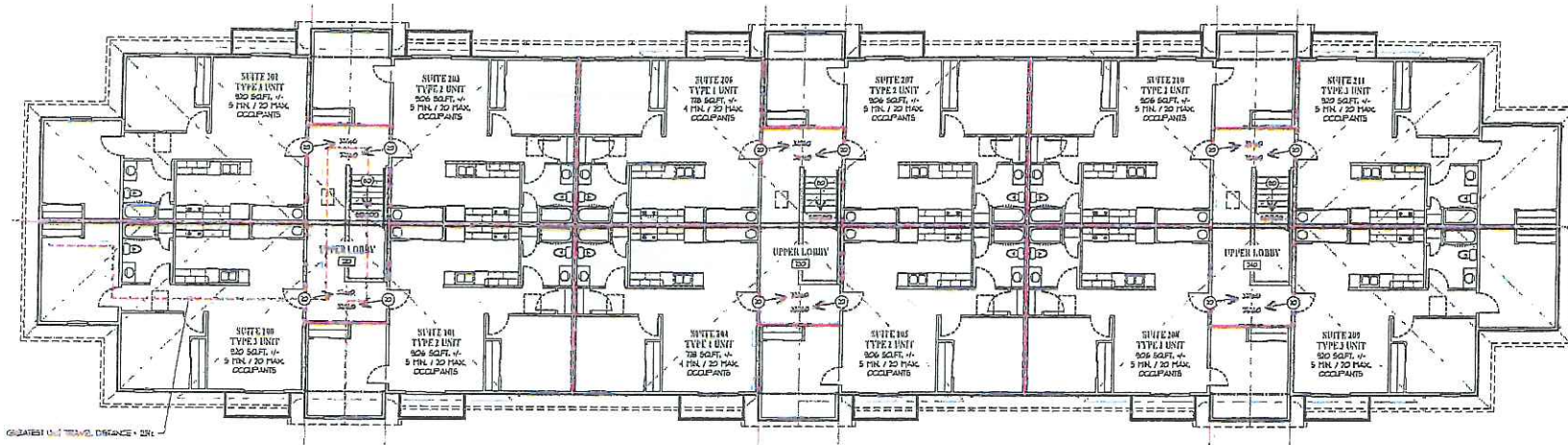
1702 - [REDACTED]



Fountain Springs Apartments
Fifty & Over Workforce Housing
870 EAST 29TH STREET, FREMONT, NEBRASKA

DATE: 04-08-19
JOB NO: DA18139
DRAWN: CDD
CHECKED: RAS
TITLE: COVER SHEET
SHEET NO: CVR

NOTES:
SEE COVER SHEET FOR ADDITIONAL INFORMATION



K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 100 SOUTH WEST STREET
 SUITE 100
 TAMPA, FL 33601
 813-288-1111
 www.kashook.com

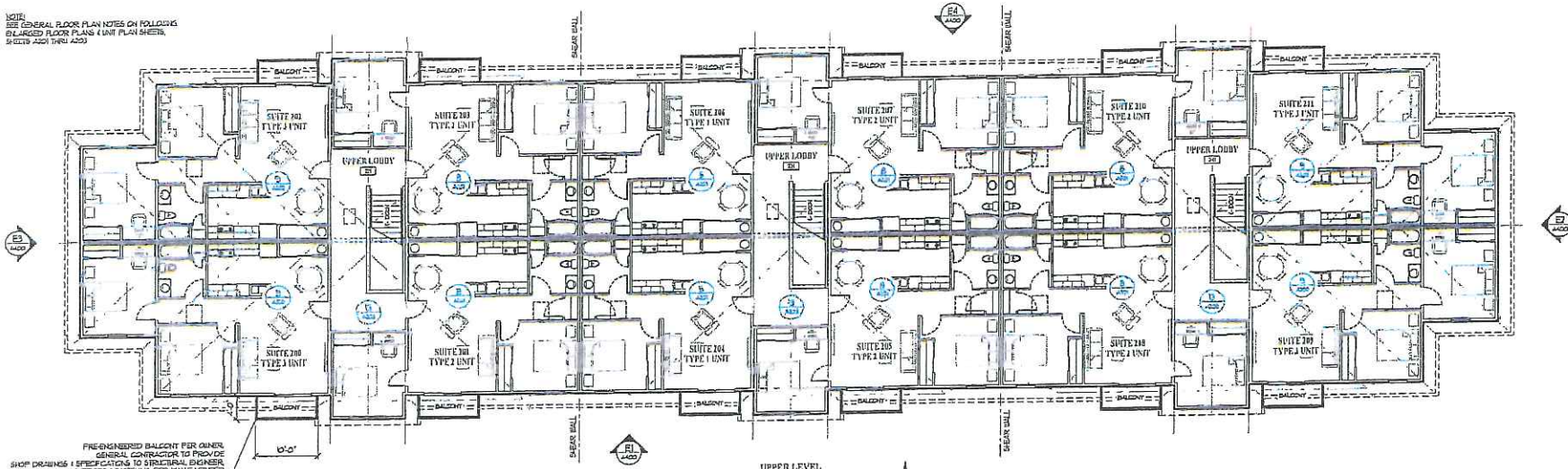


Fountain Springs Apartments
 Fifty & Over Workforce Housing
 870 East 28th Street
 FREMONT, GADSDEN COUNTY, IBERMORA, FL

DATE: 04-08-19
 JOB NO. DA18139
 DRAWN: RDP
 CHECKED: KAS
 TITLE: LIFE SAFETY / EGRESS PLAN

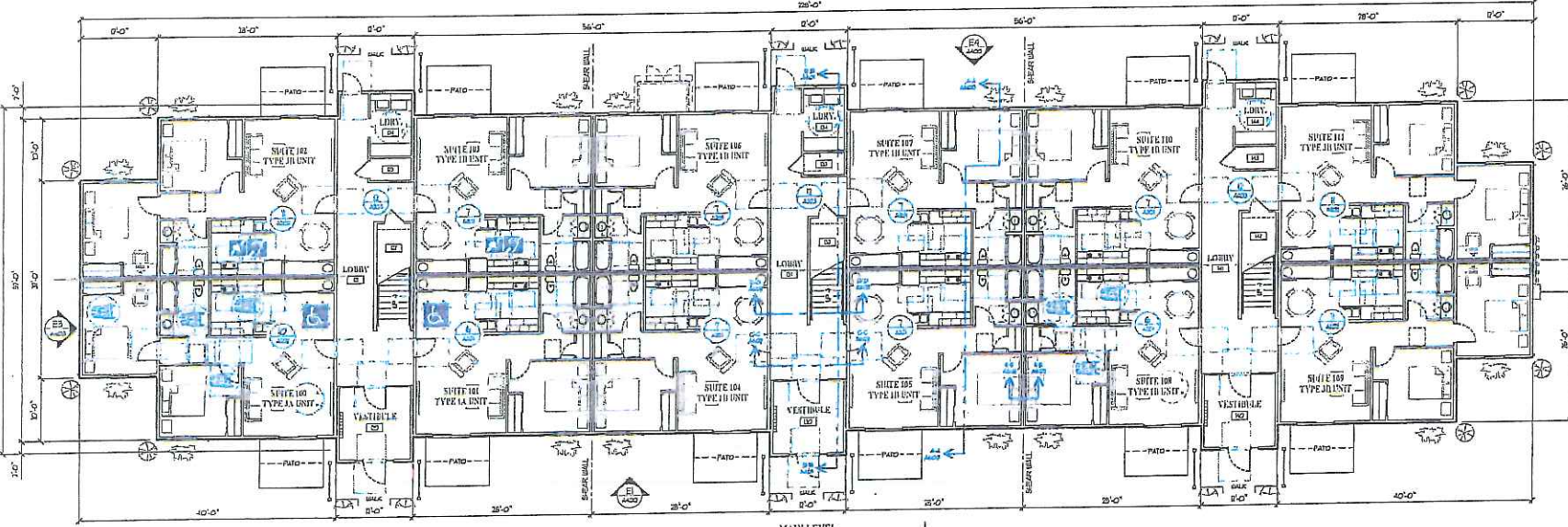
SHEET NO. A101

NOTE:
SEE GENERAL FLOOR PLAN NOTES ON FOLLOWING
BLANKED FLOOR PLANS & UNIT PLAN SHEETS
(SHEETS A201 THRU A203)



UPPER LEVEL
OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRE-FINISHED BALCONY PER OWNER.
GENERAL CONTRACTOR TO PROVIDE
SHOP DRAWINGS & SPECIFICATIONS TO STRUCTURAL ENGINEER.
BALCONY SUPPORT & FASTENING PER MANUFACTURER.



MAIN LEVEL
OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
REFER TO ARCHITECTURAL SITE PLAN FOR
ACCESSIBLE TYPE "3A" & "3A" UNIT LOCATIONS ON EACH BUILDING.

K. A. SHOOK DESIGN, LLC
REGISTERED ARCHITECT
100 MAIN STREET
NEBASKA, NE 68001
402-441-1888
www.kashookdesign.com

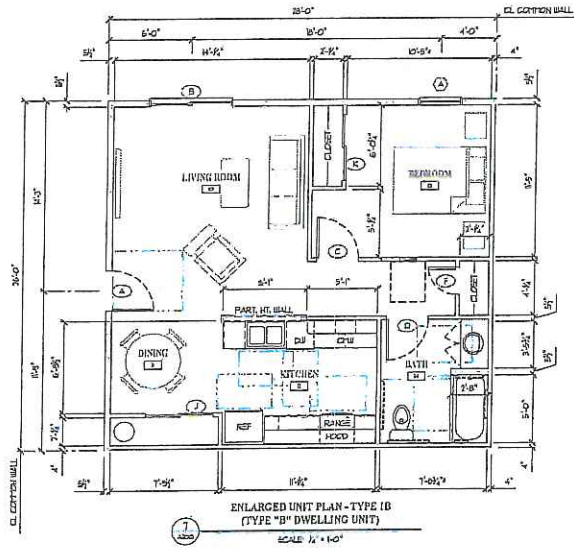
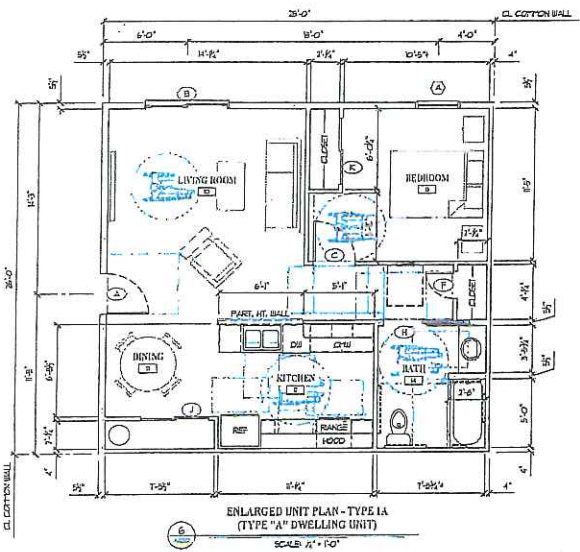
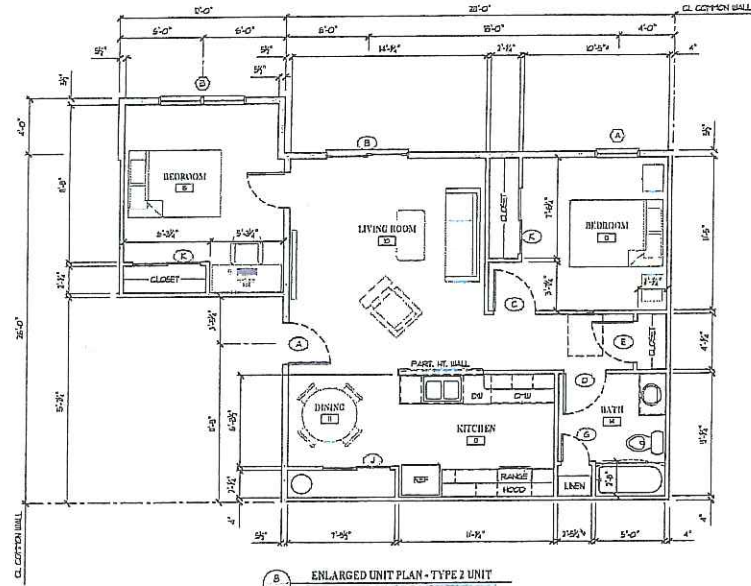
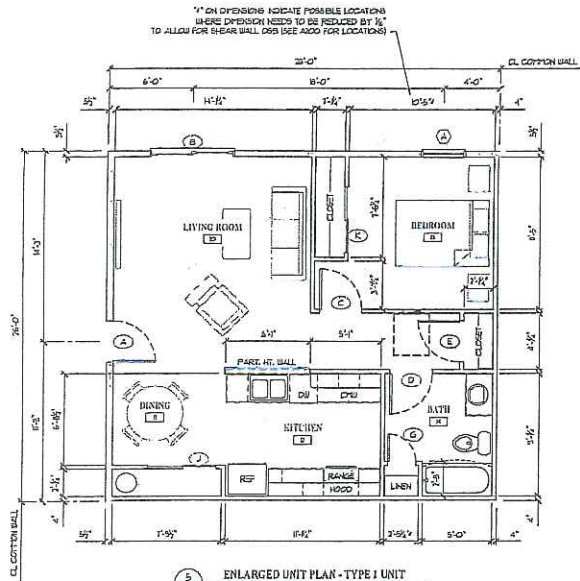


**Fountain Springs Apartments
Fifty & Over Workforce Housing**
170 East 29th Street
FREMONT, DOUGLAS COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO.: DAI0132
DRAWN: GSP
CHECKED: KAS
FILE:

OVERALL FLOOR PLANS

SHEET NO.
A200



FLOOR PLAN NOTES

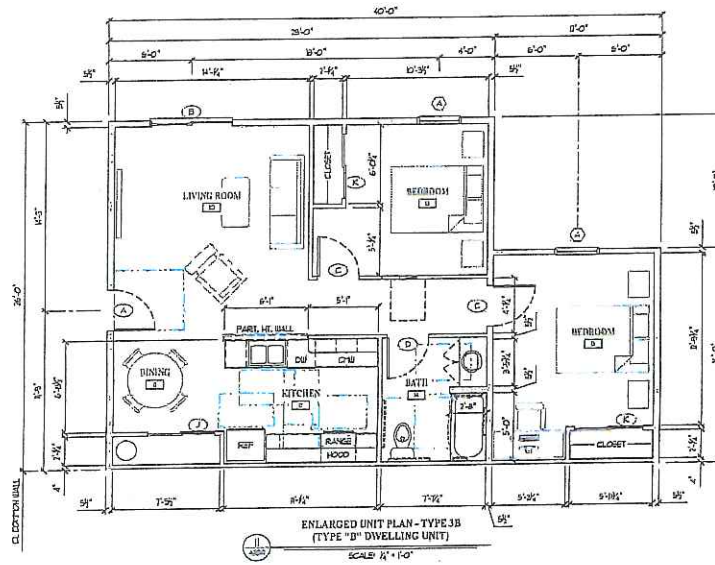
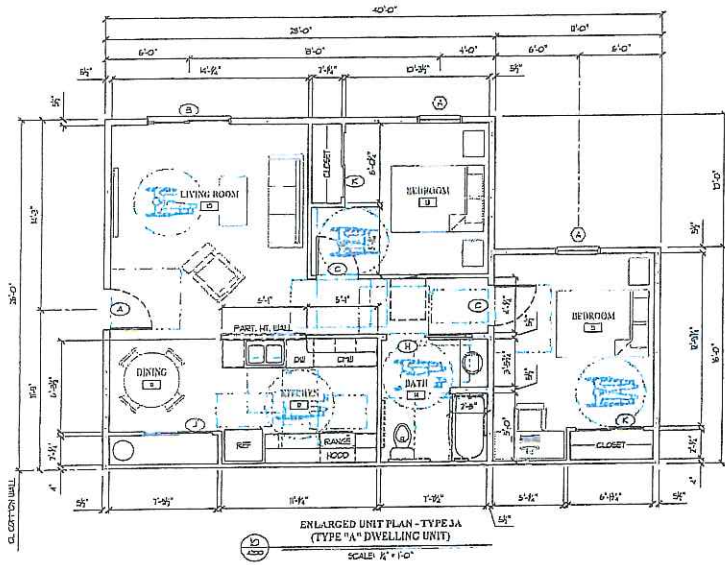
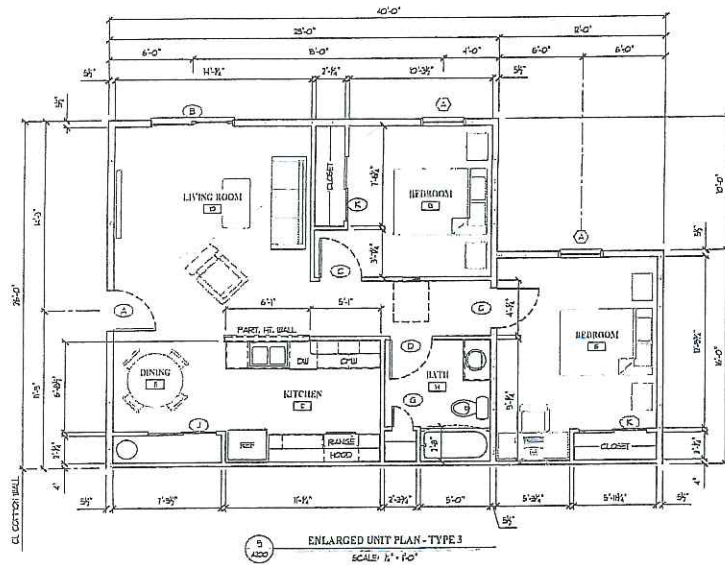
- REFER TO 4 COORDINATE ALL STRUCTURAL FOUNDATION WALL FRAMING, FLOOR FINISHING AND ROOF FINISHING INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- REFER TO 4 COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL (MPE) WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
- SEE OVERALL FLOOR PLANS ON SHEET A200.
- ALL LOAD BEARING WALLS TO BE 2x STRUCTURAL GRADE FRAMING.
- ALL EXTERIOR WALLS ARE TO BE PRE-CUT INSULATED CONCRETE BLOCK (ICM) UNLESS OTHERWISE NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR SPACING AND FASTENING REQUIREMENTS.
- ALL NON-LOAD BEARING INTERIOR WALL PARTITIONS ARE TO BE PRE-CUT 2x4 WOOD STUD FRAMING 9 1/2" O.C. MAX. UNLESS NOTED OTHERWISE.
- PROVIDE NECESSARY BLOCKING FOR ALL CABINETS, SHELVES, GRAB BARS, ETC. SEE INTERIOR ELEVATIONS AND VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
- INSULATE WITH SOUND BATT ALL INTERIOR WALLS ADJACENT TO ANY MECHANICAL ROOMS, CLOSETS, OR GARAGE. VERIFY ROOMS, LAUNDRY ROOMS AND BATHROOMS.
- ALL APPLIANCES & APPLIANCE SCAFFOLD FOR REFERENCE ONLY AND ARE TO BE SELECTED AND PROVIDED BY OWNER.
- INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, SPECIFICATIONS AND DETAILS.
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND PERMANENT BRACING AS REQUIRED.
- SEE DOCUMENT "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" 2011 EDITION IS HEREBY MADE PART OF THESE DOCUMENTS.
- ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND ANY AUTHORITY HAVING JURISDICTION.
- IN FIRST FLOOR UNITS, PROVIDE BLOCKING IN WALLS IN BATHROOM FOR FUTURE GRAB BARS.
- PROVIDE ACCESSIBLE ENTRANCE TO FRONT DOOR OF FIRST FLOOR UNITS UNLESS IT IS IMPRACTICAL TO DO SO BECAUSE OF THE TERRAIN OR UNUSUAL CHARACTERISTIC OF THE SITE (SEE ICD FLOOR PLAN DESIGN HANDBOOK).
- IF AN ADA ACCESSIBLE UNIT IS REQUIRED, CONTACT ARCHITECT FOR MODIFIED FLOOR PLAN.

K. A. SHOOK DESIGN, LLC
ARCHITECTS AND DESIGNERS
1075 SOUTH 14TH STREET
LINCOLN, NE 68502
PHONE: 402.478.1111
WWW.KASHOOKDESIGN.COM



Fountain Springs Apartments
Fifty & Over Workforce Housing
870 EAST 38TH STREET
FREMONT, DODGE COUNTY, NEBRASKA

DATE: 04-08-19
JOB NO. 0418128
DRAWN: DOP
CHECKED: KAS
TITLE:
ENLARGED FLOOR PLANS / UNIT PLANS
SHEET NO.
A201



FLOOR PLAN NOTES

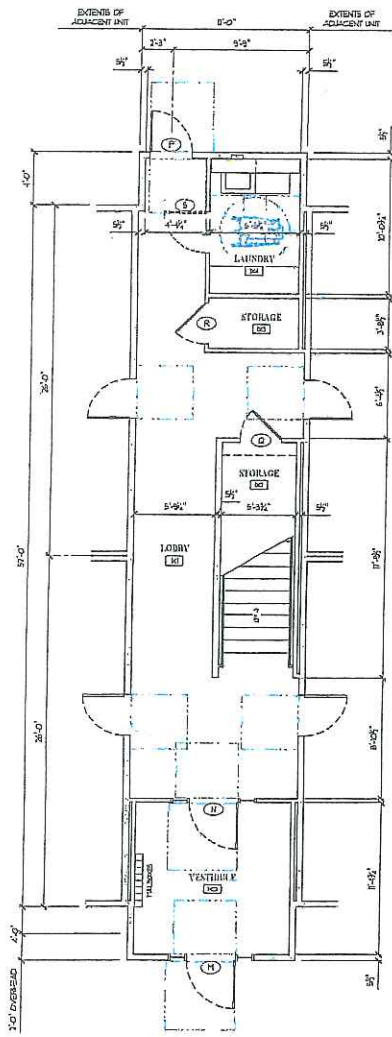
- REFER TO 1 COORDINATE ALL STRUCTURAL FOUNDATION WALL FRAMING, FLOOR FRAMING AND ROOF FRAMING INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- REFER TO 1 COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
- SEE OVERALL FLOOR PLANS ON SHEET A200.
- ALL LOAD BEARING WALLS TO BE IN STRUCTURAL GRADE FRAMING.
- ALL EXTERIOR WALLS ARE TO BE PRE-CUT 2x4 WOOD STUD FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR SPACINGS AND FASTENING REQUIREMENTS.
- ALL NON-LOAD BEARING INTERIOR WALL PARTITIONS ARE TO BE PRE-CUT 2x4 WOOD STUD FRAMING 6" W/ 2x4 MAX UNLESS NOTED OTHERWISE.
- PROVIDE NECESSARY BLOCKING FOR ALL CABINETS, SHELVING, GRAB BARS, ETC. SEE INTERIOR ELEVATIONS AND VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
- ISOLATE WITH SOUND BATT ALL INTERIOR WALLS ADJACENT TO ANY MECHANICAL ROOMS, CLOSETS, OR CHASES, UTILITY ROOMS, LAUNDRY ROOMS, AND BATHROOMS.
- ALL FURNITURE / APPLIANCES ROOM FOR REFERENCE ONLY AND ARE TO BE SELECTED AND PROVIDED BY OWNER.
- INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, SPECIFICATIONS AND DETAILS.
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND PERMANENT BRACING AS REQUIRED.
- ALL DOCUMENTS "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" 2017 EDITION IS HEREBY MADE PART OF THESE DOCUMENTS.
- ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND ANY JURISDICTION HAVING JURISDICTION.
- IN FIRST FLOOR UNITS, PROVIDE BLOCKING IN WALLS IN BATHROOM FOR FUTURE GRAB BARS.
- PROVIDE ACCESSIBLE ENTRANCE TO FRONT DOOR OF FIRST FLOOR UNITS UNLESS IT IS IMPRACTICAL TO DO SO BECAUSE OF THE TERRAIN OR UNSUAL CHARACTERISTIC OF THE SITE (SEE IAD PAR HOUSING ACT DESIGN MANUAL).
- IF AN ADA ACCESSIBLE UNIT IS REQUIRED, CONTACT ARCHITECT FOR DOOR/FLOOR FLOOR PLAN.

K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
 1708 S. 10TH STREET
 WASHINGTON, MO 63401
 636-943-1129
 www.kashookdesign.com

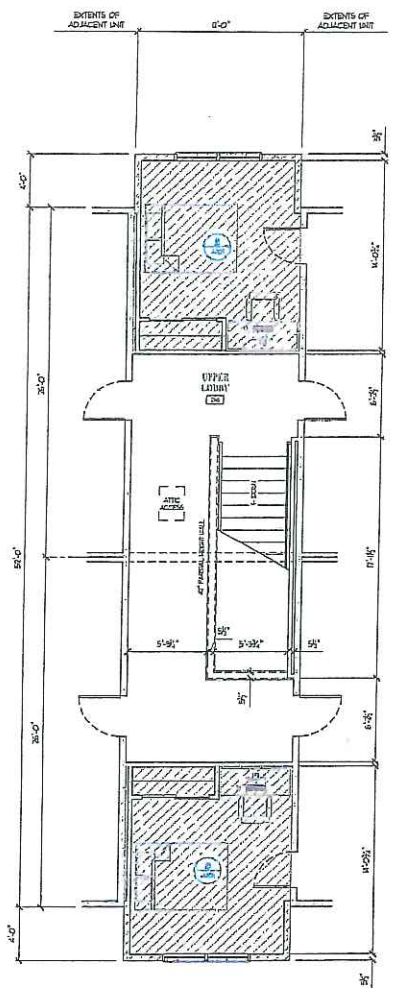


Fountain Springs Apartments
Fifty & Over Workforce Housing
 670 East Brink Street
 FRENCH CREEK, MISSOURI 63455

DATE: 04-08-19
 JOB NO: DA18133
 DRAWN: DDP
 CHECKED: KAS
 TITLE:
 ENLARGED FLOOR PLANS / UNIT PLANS
 SHEET NO. **A202**



ENLARGED CORE PLAN
MAIN LEVEL
SCALE: 1/4" = 1'-0"



ENLARGED CORE PLAN
UPPER LEVEL
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

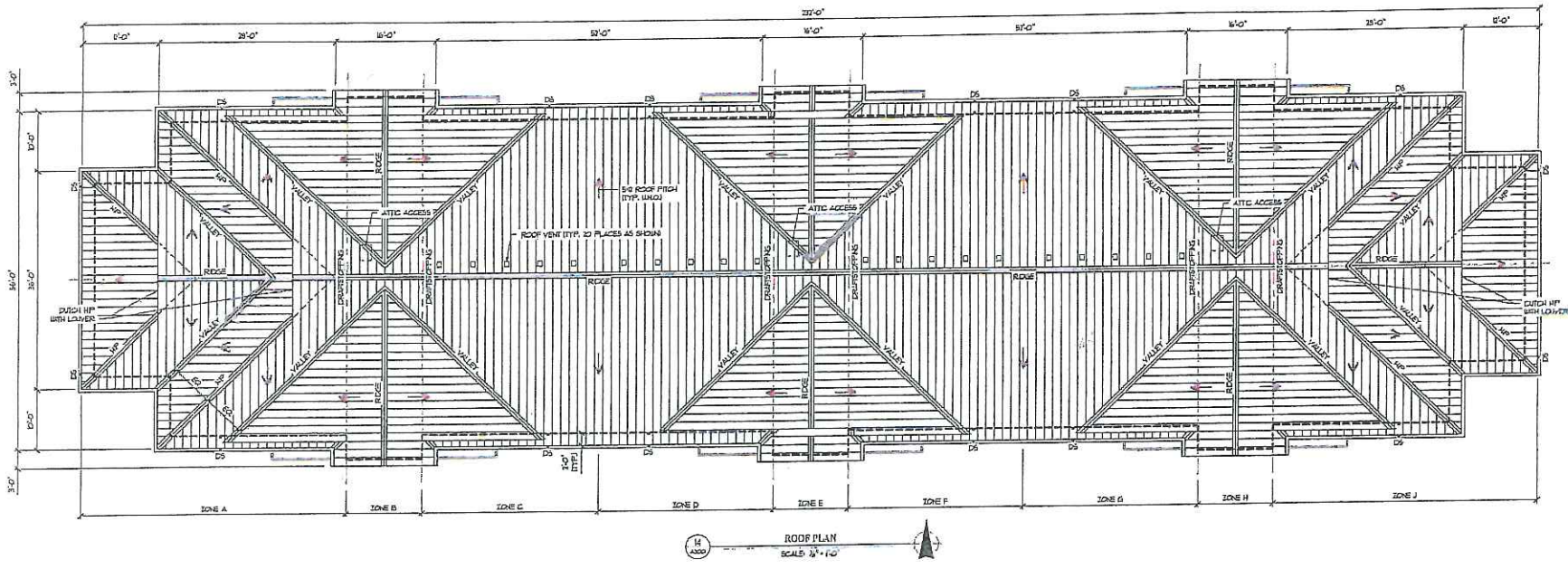
- REFER TO 4 COORDINATE ALL STRUCTURAL FOUNDATION WALL FINISHES, FLOOR FINISHES, AND ROOF FINISHES WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- REFER TO 4 COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
- SEE OVERALL FLOOR PLANS ON SHEET A200.
- ALL LOAD BEARING WALLS TO BE 8" STRUCTURAL GRADE FRAMING.
- ALL EXTERIOR WALLS ARE TO BE PRE-CUT 3/4" WOOD STUD FRAMING UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR SPACING AND FASTENING REQUIREMENTS.
- ALL NON-LOAD BEARING INTERIOR WALL PARTITIONS ARE TO BE PRE-CUT 2x4 WOOD STUD FRAMING @ 16" O.C. UNLESS NOTED OTHERWISE.
- PROVIDE NECESSARY BLOCKING FOR ALL CABINETS, SHELVING, GRAB BARS, ETC.
- SEE INTERIOR ELEVATIONS AND VERIFY WITH OWNER PRIOR TO CONSTRUCTION.
- INSTALL GIB SOFTS BUTT ALL INTERIOR WALLS ADJACENT TO ANY MECHANICAL ROOMS, CLOSETS, OR CHASES, UTILITY ROOMS, LAUNDRY ROOMS, AND BATHROOMS.
- ALL FURNITURE & APPLIANCES SHOWN FOR REFERENCE ONLY AND ARE TO BE SELECTED AND PROVIDED BY OWNER.
- INSTALL ALL FINISHES IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS, SPECIFICATIONS, AND DETAILS.
- PROVIDE BLOCKING IN WALLS AS REQUIRED BY MANUFACTURER FOR ALL WALL MOUNTED EQUIPMENT.
- GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY AND PERMANENT BRACING AS REQUIRED.
- SEE DOCUMENT "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" 2011 EDITION & HEREBY MAKE PART OF THESE DOCUMENTS.
- ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND ANY AUTHORITY HAVING JURISDICTION.
- IN FIRST FLOOR UNITS, PROVIDE BLOCKING IN WALLS IN BATHROOM FOR RUBER GRAB BARS.
- PROVIDE ACCESSIBLE ENTRANCE TO FRONT DOOR OF FIRST FLOOR UNITS UNLESS IT IS IMPRACTICAL TO DO BECAUSE OF THE TYPICAL OR UNUSUAL CHARACTERISTICS OF THE SITE (SEE HAD FAIR HOUSING ACT DESIGN MANUAL).
- IF AN ADA ACCESSIBLE UNIT IS REQUIRED, CONTACT ARCHITECT FOR MODIFIED FLOOR PLAN.

K. A. SHOOK DESIGN, LLC
 ARCHITECTURE AND DESIGN
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 405-534-4148
 www.kashookdesign.com



**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 870 E. 54th Street
 FREMONT, DODGE COUNTY, NEBRASKA

DATE:	04-05-19
JOB NO:	0418120
DRAWN:	DDP
CHECKED:	NAS
TITLE:	ENLARGED FLOOR PLANS / CORE PLANS
SHEET NO.	A203



ROOF PLAN
SCALE: 1/4" = 1'-0"

ATTIC VENTILATION NOTES

ZONES A & J ATTIC VENTING: VENTING REQUIRED:	(1840 / 50) (144) (17) *	1840 SQ.FT. 284 SQ.N.
RIDGE VENT PROVIDED:	B LP 9 8712 *	314 SQ.N.
TRUSS AIR LAYERS: TOTAL PROVIDED:	TL UNCL *	711 SQ.N. 1029 SQ.N.
ZONES B, E, & H ATTIC VENTING: VENTING REQUIRED:	(172 / 50) (144) (17) *	720 SQ.FT. 346 SQ.N.
RIDGE VENT PROVIDED:	58 1/2 2 1/2" * *	1044 SQ.N.
TOTAL PROVIDED:		1044 SQ.N.
ZONES C, D, F & G ATTIC VENTING: VENTING REQUIRED:	(1456 / 50) (144) (17) *	1456 SQ.FT. 628 SQ.N.
RIDGE VENT PROVIDED:	24 LF 6 3/4" * *	432 SQ.N.
ROOF VENTS 1/2 x 3/4 IN SQ. IN. 5 VENTS *		320 SQ.N.
TOTAL PROVIDED:		752 SQ.N.

- ROOF PLAN NOTES**
1. ALL ROOF CONSTRUCTION / INSTALLATIONS TO COMPLY WITH CURRENT INTERNATIONAL RESIDENTIAL CODE CHAPTERS 8 & 10.
 2. REFER TO / COORDINATE ALL STRUCTURAL ROOF FRAMES INFORMATION WITH STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 3. REFER TO / COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL NOTES WITH MEP DRAWINGS PRIOR TO CONSTRUCTION.
 4. ROOFING TO BE 30GA STANDING SEAM METAL ROOFING 18" WIDE w/ 1" RIB HEIGHT OR APPROVED EQUAL. MANUFACTURER, STYLE AND COLOR PER OWNER.
 5. INSTALL NECESSARY ROOF LEAK BARRIERS AND CEILING PROTECTION PER MANUFACTURER / SUPPLIER RECOMMENDATIONS. INSTALL SAWN / CEILING ON ALL ROOF AREAS ADJACENT TO BALCONIES, PATIOS, TERRAZZAS, ESSHOUSES OR OTHER OCCUPYABLE AREAS.
 6. INSTALL PERFORATED 1/2" x 1/2" ALUMINUM DOWNSPOUTS. COLOR FINISHING TO BE VERIFIED BY OWNER.
 7. INSTALL 1/2" DRAINSTOPPING TO ADJACENT TRUSS BARS SHOW. INSTALL SPRING LOADED 3/4 x 5/8 ACCESS DOORS IN CENTER OF DRAINSTOPPING AT EACH LOCATION.
 8. OPTIONAL ATTIC BULKHEAD ENTRE LENGTH OF BUILDING. 1/2" SHEATHING 1/4" WIDE OVER 3/8 BARRIERS OVER TRUSS BOTTOM CHORDS. BULKHEAD SHALL NOT REDUCE INSULATION THICKNESS IN ANY WAY.

F. A. SHOOK DESIGN, LLC
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 402-441-4100
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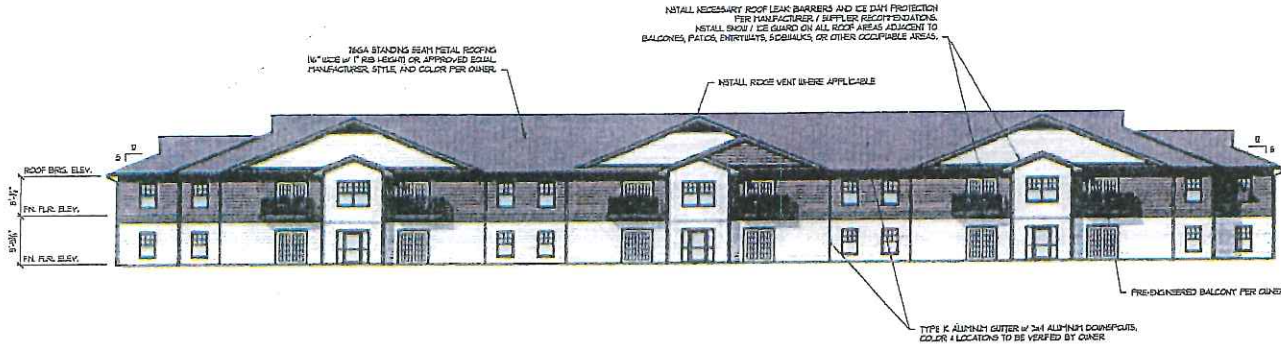


**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 876 East 18th Street
 FREMONT, DODGE COUNTY, NEBRASKA

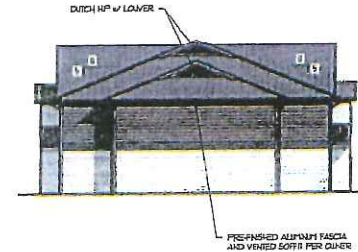
DATE:	D4-08-19
JOB NO.:	DAT8132
DRAWN:	GGP
CHECKED:	KAB
TITLE:	ROOF PLAN
SHEET NO.:	A300

ELEVATION NOTES

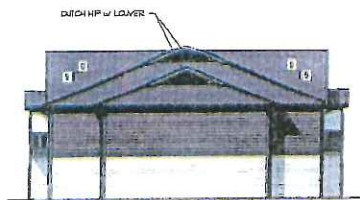
1. FOR REFERENCE ONLY. SEE DIMENSIONS INDICATED ON PLAN & SECT. SECTIONS & DETAILS FOR ALL MEASUREMENTS
2. ALL FINISH MATERIAL, MANUFACTURER, STYLE, SPECIES, & COLOR PER OWNER



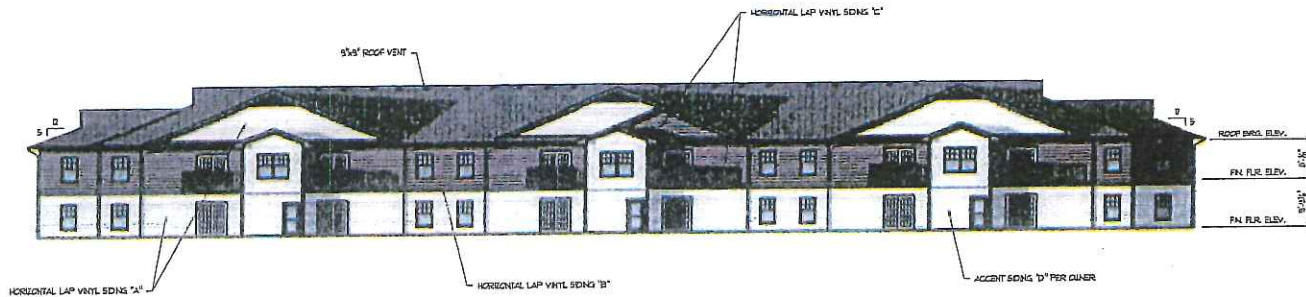
B1
000 FRONT ELEVATION



B2
000 RIGHT SIDE ELEVATION



B3
000 LEFT SIDE ELEVATION



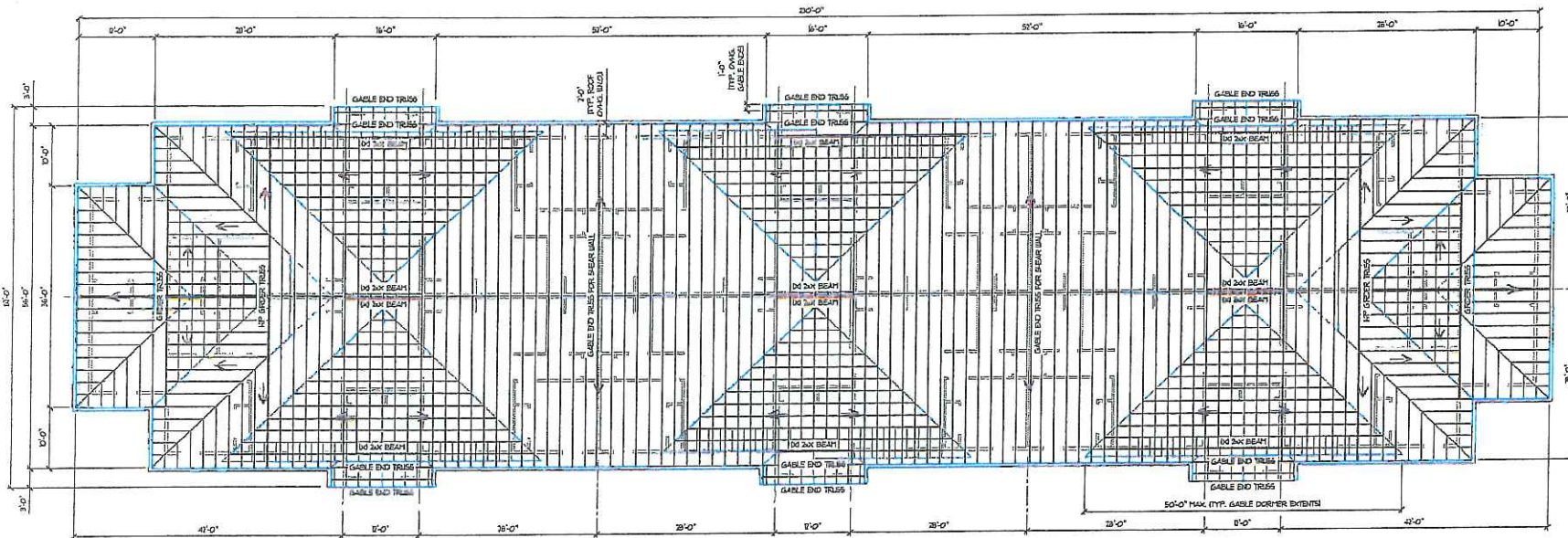
B4
000 REAR ELEVATION


K. A. SHODE DESIGN, LLC
 ARCHITECTURAL & ENGINEERING
 1794 SOUTH LOUIS STREET
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 www.kashodedesign.com



**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 870 EAST 20th Street
 FREEMONT, DODGE COUNTY, NEBRASKA

DATE:	04-08-19
JOB NO.:	0A10130
DRAWN:	DDP
CHECKED:	KAS
TITLE:	EXTENSION ELEVATIONS
SHEET NO:	A400



51-100 ROOF FRAMING PLAN SCALE: 1/4" = 1'-0"

K. A. SHOOK DESIGN, LLC
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 1709 South U.S. Street
 SHELBY, NEBRASKA 68401
 402-441-7122
 www.kashookdesign.com



Fountain Springs Apartments
 Fifty & Over Workforce Housing
 870 East 28th Street
 FREMONT, LODGE COUNTY, NEBRASKA

DATE: 04-08-19
 JOB NO. DA18139
 DRAWN: GGP
 CHECKED: WAS
 TITLE: ROOF FRAMING PLAN
 SHEET NO. A502

TRUSS NOTES

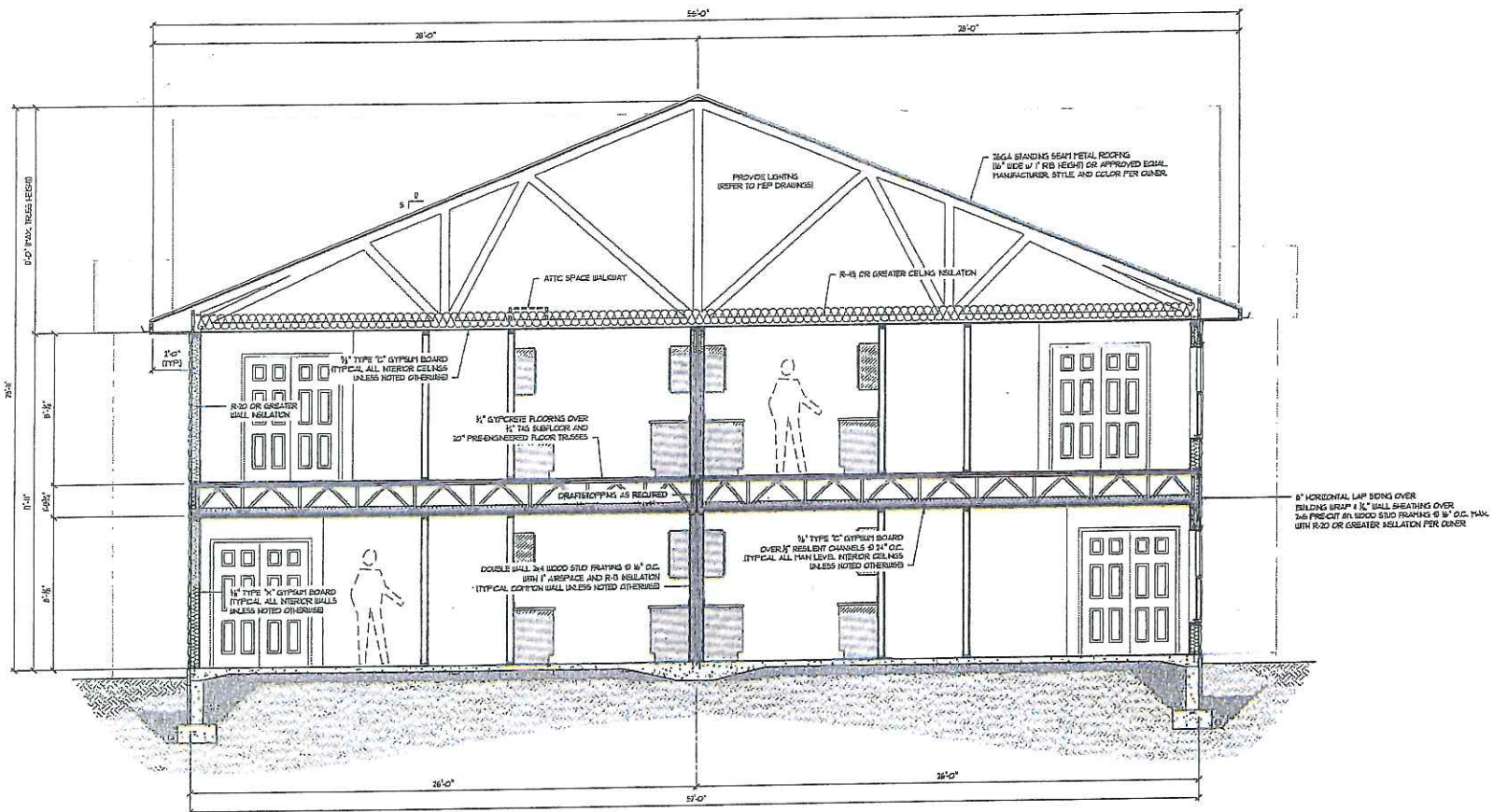
1. ALL TRUSS MEMBERS TO SOUTHERN PINE
2. TRUSS MANUFACTURER TO ENGINEER TRUSSES AND FURNISH SHOP DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT INDICATING CHORD LOADS AND BRACING LOCATION. SHOP BRACINGS TO BE SEALED BY REGISTERED ENGINEER IN THE STATE OF NEBRASKA
3. TRUSS TYPE SHOWN FOR DIMENSION AND CLARIFICATION ONLY
4. TRUSS MANUFACTURER RESPONSIBLE FOR ALL SCISSOR CONNECTIONS - LOADING VERTICAL MEMBERS ABOVE ALL INTERIOR LATERALLY BRACING WALLS
5. DESIGN LOADS:

TOP CHORD	LL 20 PSF	DL 10 PSF
BOTTOM CHORD	LL 10 PSF	
TOTAL	40 PSF	
DESIGN WIND SPEED	90 FPM	
SEISMIC ZONE	2	
6. TRUSS ERECTOR SHALL PROVIDE TEMP. AND PERMANENT BRACINGS AS REQUIRED.

FRAMING NOTES

1. PROVIDE SUFFICIENT HURRICANE CLIP AT EACH TRUSS/Rafter
2. ALL STRUCTURAL WOOD MEMBERS SOUTHERN PINE #2, CONFORM INTERNATIONAL RESIDENTIAL CODES FOR SPACINGS AND USES FOR ALL OTHER SPECIES AND GRADE
3. LINTELS AND BEAMS MIN. PD = 1000 PSI
4. ALL EXTERIOR WOOD STRUCTURE TO BE TREATED LUBBER
5. ALL EXTERIOR SUFFICIENT HANGER OR CLIPS TO BE GALVANIZED
6. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND EQUIPMENT PARTS DURING ERECTION. THIS INCLUDES THE ACQUISITION OF UNNECESSARY TEMP. BRACINGS, GAINS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
7. SPECIFICATIONS AND STANDARDS: DESIGN AND DETAILING OF CONNECTIONS CONSTRUCTION AS RECOMMENDED BY NATIONAL FOREST PRODUCTS ASSOCIATION
8. MATERIALS: USE ONLY STRONG GRADE LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES FOR DIMENSIONAL LUMBER FRAMING:

TYPE OF MEMBER	TD	E
STRIPS	475/775	10
JOISTS / HEADERS	600/1000	10
BEAMS	1000/1800	10
9. ALL STRUCTURAL LUMBER SHALL BE KILN DRIED TO 24% MOISTURE CONTENT.
10. PLYWOOD SHEATHING:
 - a. ROOFS - 5/8" TONGUE AND GROOVE PLYWOOD APA C-D W/EXT. GLUE, PANEL INDEX 740.
 - b. PLYWOOD FILLERS ARE CALLED OUT WITH LINTELS. THEY SHALL BE CONTINUOUS PIECES FOR LENGTH OF OPENING AND SHALL BE NAILED TO 2x6 WITH TWO ROWS OF 8d NAILS AT 12" O.C.
 - c. ALL MULTIPLE STUDS AT BEAM AND Lintel BEARINGS SHALL BE NAILED TOGETHER WITH 10d @ 8" O.C.
 - d. MULTIPLE MEMBER BEAMS AND LINTELS SHALL BE NAILED TOGETHER WITH TWO ROWS 10d @ 8" O.C.
 - e. PROVIDE DOUBLE STUDS AT ALL Lintel AND SCOD BEAM BEARINGS UNLESS NOTED OTHERWISE.
 - f. NAIL ALL CHORD, TIE AND SQUARE FOR FULL BEARING AT STRUCTURAL JOINTS.
 - g. PROVIDE PLYWOOD NAILING AS RECOMMENDED BY THE AMERICAN PLYWOOD ASSOCIATION.
11. CONNECT ALL FRAMING AND BEARINGS SECURELY TOGETHER WITH NAILS, SPREADER BRACING ANGLES, FOLLOW THE REQUIREMENTS OF CHORD BUILDING CODES. TABLE TYPICAL FASTENING SCHEDULE UNLESS NOTED OTHERWISE ON DRAWINGS.
12. NAILING REQUIREMENTS ARE BASED ON COMMON NAIL USES. ADDITIONAL NAILING WILL BE REQUIRED IF GRANT COATED DIMERS OR BOX NAILS ARE USED. OBTAIN WRITTEN APPROVAL FROM STRUCTURAL ENGINEER BEFORE PLACING ANY SUBSTITUTION.
13. ALL SILL PLATES IN CONTACT WITH MASONRY WITHIN 8" OF EARTH OR ON CONCRETE BEARINGS ON EARTH SHALL BE PRESERVATIVE TREATED.



BUILDING SECTION A-A


K. A. SHODOR DESIGN, LLC
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 1725 EMMETT LANE, SUITE 100
 SPRINGFIELD, VA 22151
 540-343-8122
 www.kashodor.com
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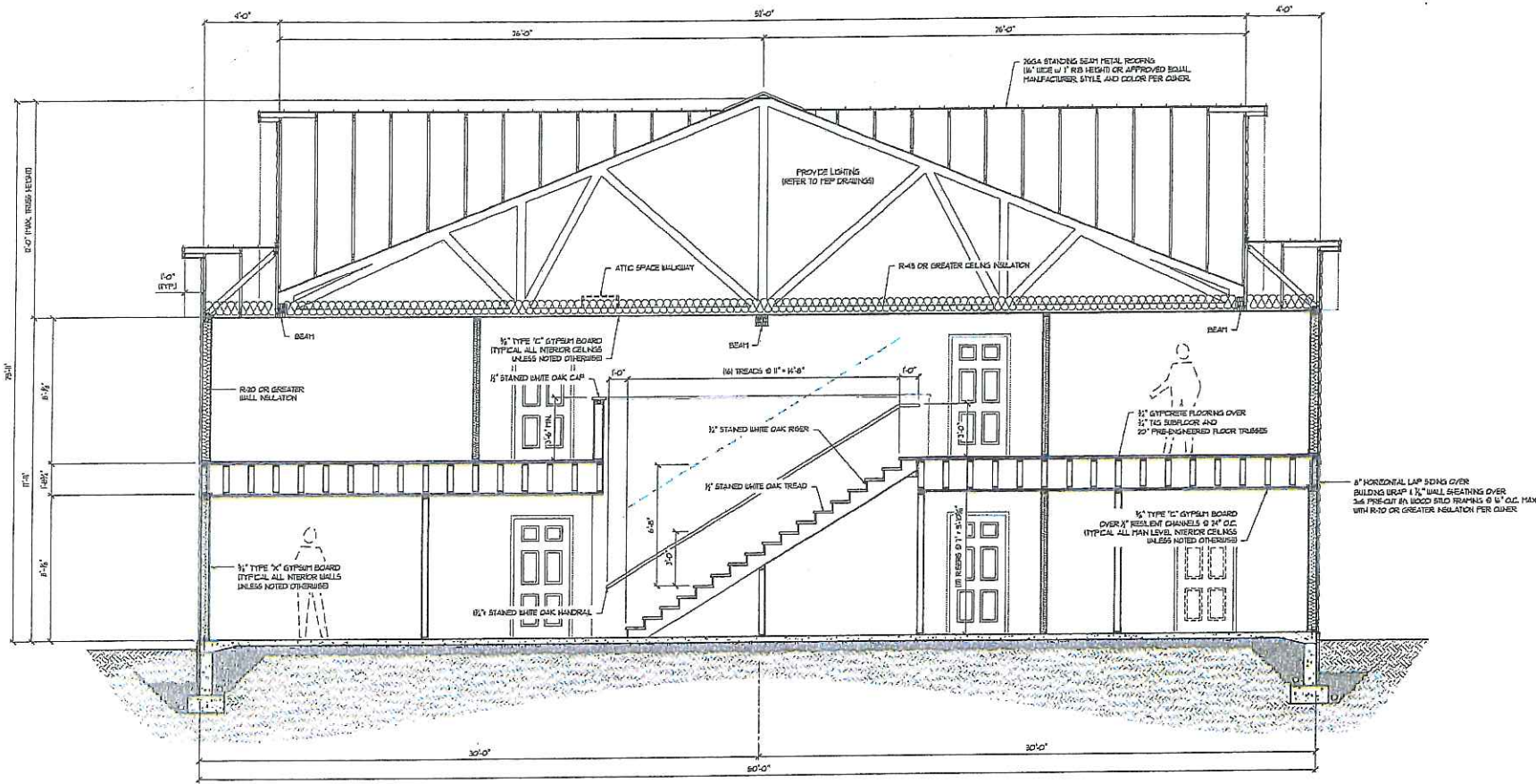


**Fountain Springs Apartments
 Fifty & Over Workforce Housing**
 470 East 25th Street
 FREMONT, DOUGLAS COUNTY, NEBRASKA

DATE: 04-08-19
 JOB NO: DA18139
 DRAWN: COP
 CHECKED: SAS

TITLE:
BUILDING AND WALL SECTIONS

SHEET NO:
A600



BUILDING SECTION D-B


K. A. SHOOK DESIGN, LLC
 ARCHITECTS & DESIGNERS
 1528 STATE STREET, SUITE 101
 LINCOLN, NE 68502
 (402) 441-1122
 www.kashookdesign.com



**Fountain Springs Apartments
 Fifty & Over-Workforce Housing**
 405 EAST 38th STREET
 FREMONT, DODGE COUNTY, NEBRASKA

DATE:	04-05-19
JOB NO.:	0418138
DRAWN:	DDP
CHECKED:	KAS

TITLE:
 BUILDING AND WALL SECTIONS
 SHEET NO.
A601

